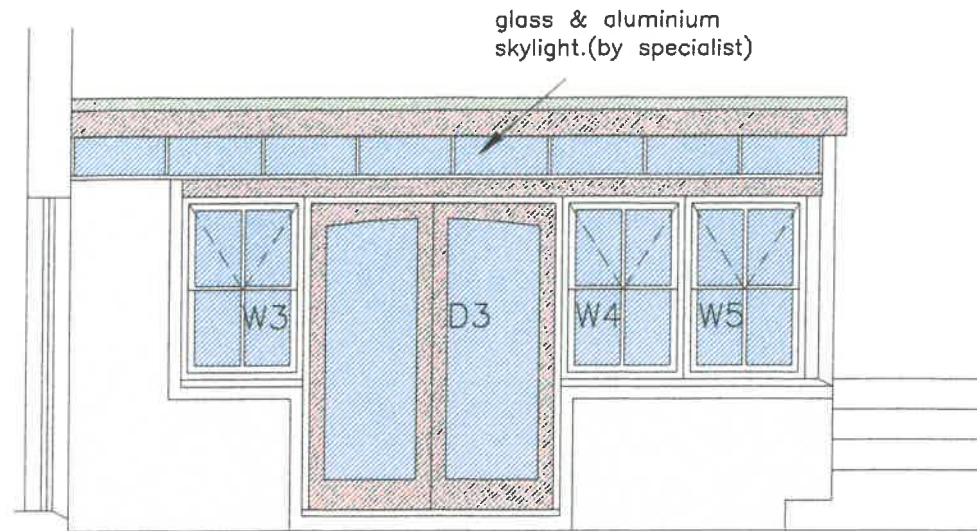
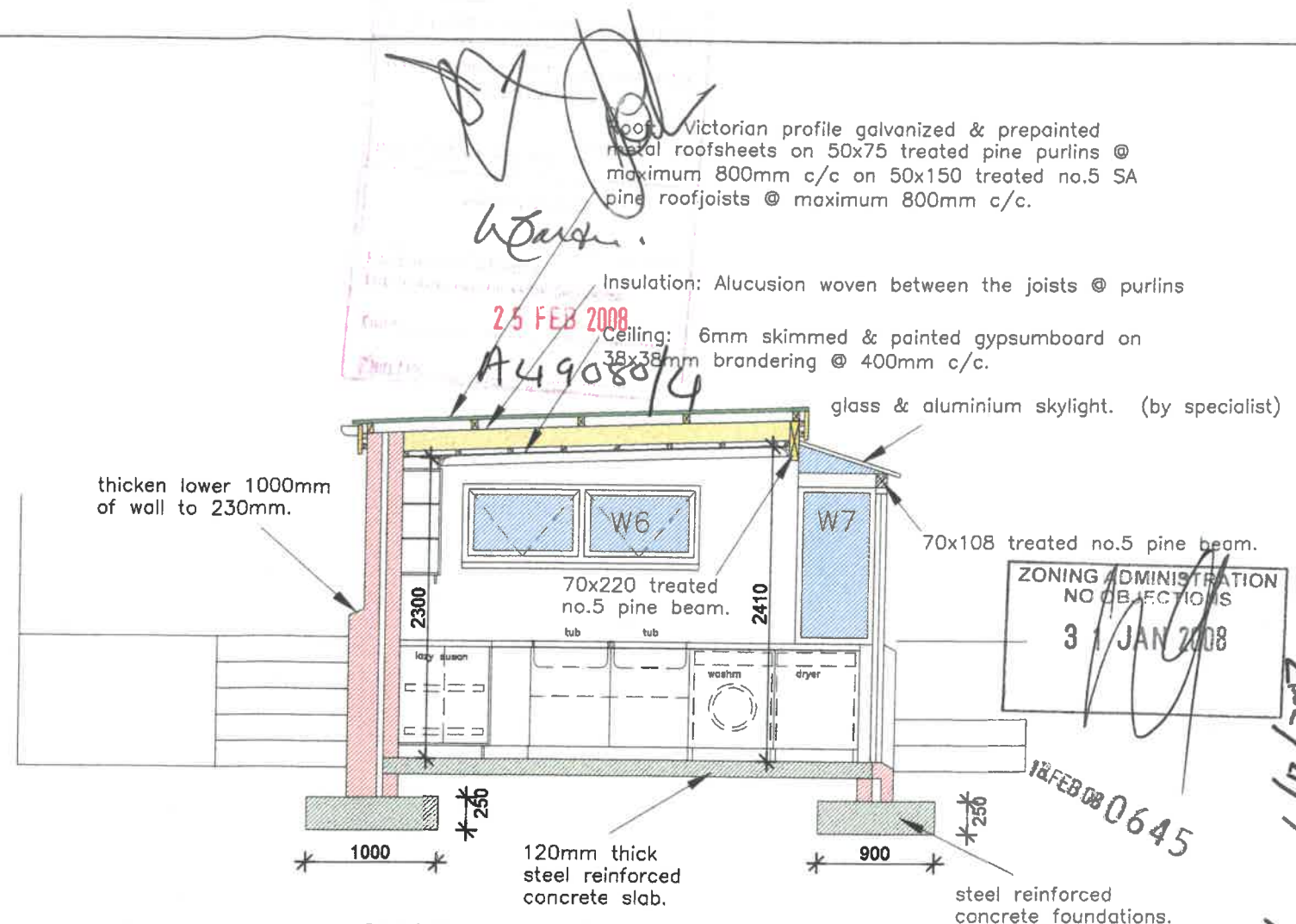
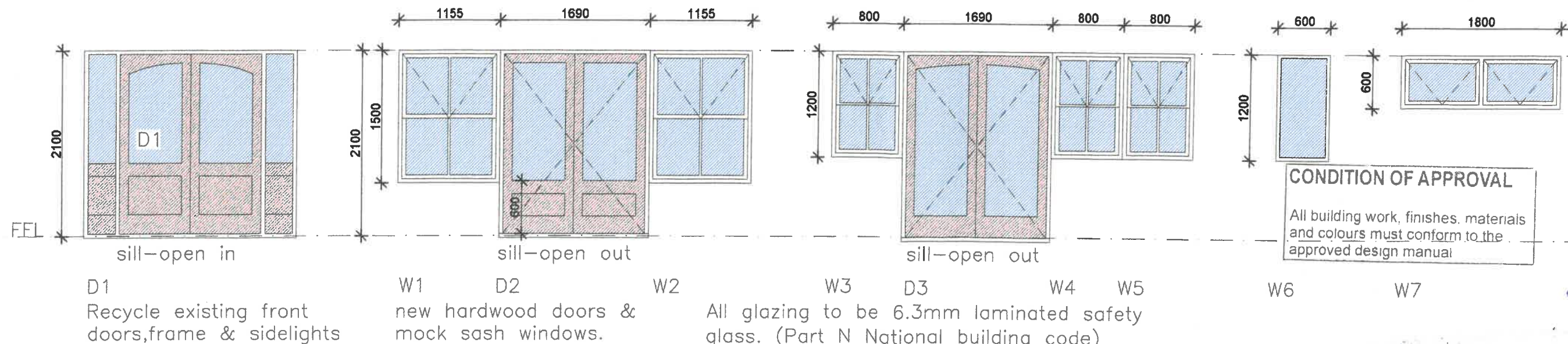




ELEVATION C-C  
1:50



SECTION D-D  
1:50



DOOR & WINDOW SCHEDULE 1:50

Building Inspectors  
Area number  
Date  
Building Inspectors  
signature

M. Bay (S)  
2007-12-12  
Ray Windell

CONDITION OF APPROVAL  
All building work, finishes, materials and colours must conform to the approved design manual

PRINTED 04-12-2007

|         |                                   |       |            |      |
|---------|-----------------------------------|-------|------------|------|
| project | DOOR & WINDOW SCHEDULE            |       |            | 7    |
|         | ELEVATION C-C & SECTION D-D       |       |            |      |
|         | BOKKEMANS                         |       |            |      |
|         | KLOOF ESTATE                      |       |            |      |
| drawing | scale                             | drawn | date       | rev. |
|         | 1:50                              | RB    | 28-11-2007 |      |
|         | drawing number                    |       |            |      |
|         | 2007-MOR                          |       |            |      |
| project | ADDITIONS & ALTERATIONS TO EXIST. |       |            |      |
|         | DWELLING ON ERF: 6183             |       |            |      |
|         | 16 BOKKEMANSKLOOF ROAD, HOUT      |       |            |      |
|         | BAY BAY FOR MR. & MRS. B. MORRIS. |       |            |      |
| project | 9 COMPANION LANE                  |       |            |      |
|         | KLEIN LEEUKOP ESTATE              |       |            |      |
|         | HOUT BAY                          |       |            |      |
|         | TELEFAX (021) 790 5963            |       |            |      |
| project | CELLULAR 082 558 3505             |       |            |      |
|         | BECKMAN ARCHITECT                 |       |            |      |
|         | HARD                              |       |            |      |
|         |                                   |       |            |      |



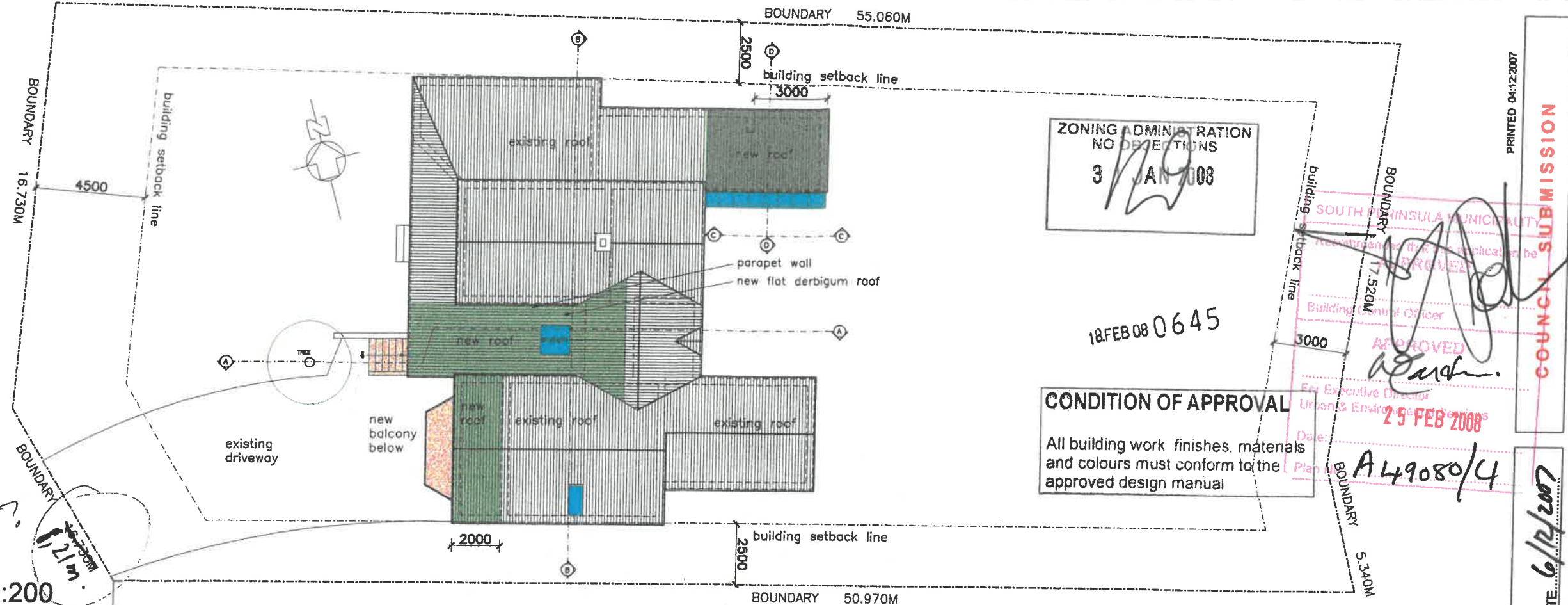
BOKKEMANSKLOOF ROAD

SITE PLAN 1:200

## OUTLINE SPECIFICATION

1. Foundations: minimum 20MPa concrete. Depth to solid undisturbed grade to engineers approval.
2. Concrete slabs on grade: minimum 25MPa concrete 150mm thick on 250micron DPM on 25mm Sagex insulation on 100mm well watered and compacted clean sand. Steel reinforcing to engineers specifications. Filling if required to be compacted in maximum 200mm lifts.
3. Suspended concrete slabs to engineers specifications.
4. Foundation walls: ROK bricks. Cavity walls grouted solid to under side of 375micron 'brickgrip' stepped DPC. All exterior cavity or load bearing walls to have galvanised brick reinforcing at every second course to underside of slab. Provide expansion/movement control joints at maximum 5m apart.
5. Exterior cavity walls: ROK bricks-plastered. Provide galvanised butterfly wall ties at a minimum 5 per m<sup>2</sup>. Build in 375micron 'brickgrip' stepped DPC with weep holes neatly spaced at every 4th brick ( $\pm$  950mm c/c). Build in expansion movement joints as per foundation walls.
6. Interior walls: ROK bricks plastered both sides, with 1 coat cement plaster, 2nd coat cretestone ready for paint.
7. Lintols: Precast, prestressed concrete with minimum 200mm endlap. All interior and exterior load bearing walls to have continuous brick reinforcing above all window and door openings @ every second course up to underside of roof.
8. Roof Framing: 'Gangnail roof framing system' by specialist (MITEK) to conform to all NHBRC requirements and SABS standards. All trusses to have galvanised hoop iron ties at all masonry wall junctions set down a minimum of 6 brick courses. Wrap all portions of timber to be built into masonry with 250micron DPM. Provide beam fill between roof timbers/trusses to underside of roof covering.
9. Roof covering: Victorian profile galvanized and prepainted metal roofsheets on 50x75 purlins @ max.

10. Roof Insulation: Provide Alucushion insulation sheets woven between trusses and purlins with minimum 150mm side and end laps.
11. Ceilings: 6mm gypsum board with cretestone skim on 38x38mm bradering @ 400mm c/c. Ceiling insulation 75mm thick 'Isotherm' insulation blanket continuous. Cut holes above all low voltage light fixtures for ventilation.
12. Paint: 1 coat masonry primer, 2 coats 100% acrylic (Plascon Wall 'n All or approved equivalent) to all interior and exterior plastered walls.
13. Woodwork painting: 1 coat pink wood primer, 1 coat universal undercoat, and 2 coats alkyd enamel (Plascon Velvago or approved equivalent).
14. Natural woodwork finish: 1 coat sanding sealer and 2 coats clear oil varnish.
15. Stained woodwork finish: minimum 2 coats Plascon or equivalent stain varnish.
16. All retaining walls to have an agricultural drain/perforated 110mm dia. PVC pipe laid in gravel & covered with 'Bidim' cloth & drained to storm system.
17. Plumbing: System to be a PVC 'closed' type installed by a licensed plumber in conformance with all applicable Municipal and National building regs. All hot and cold water reticulation to be solid copper. All hot water pipes to be insulated with Thermoflex by Kwikot. Main water supply to be 22mm diam. Water reticulation to be 400kpa balanced. Soil pipes to be 110mm dia PVC. Bath and shower wastes to be 50mm dia. All other wastes to be 40mm dia. Vents to be PVC two-way.
18. Glazing: to part N of the National Building Regs. All glass over 1m<sup>2</sup> or within 500mm of FFL to be safety tempered or laminated.
19. Stormwater drainage: all downpipes to be connected to a 110mm dia. storm drainage pipe which connects to storm drain.
20. Flat roof-Derbigum membrane to drain to min 1:60 fall on 22mm shutterply on 50x150mm timber roofjoists at 400mm c/c on galvanised joist hangars fastened to brickwork-all to engineers approval.



Building Inspectors  
Area number ..... 11 Bay (S)  
Date ..... 2007-12-12  
Building Inspectors  
signature ..... Ray Windell  
18 FEB 08 0645

### DATA: FLOOR AREAS

| SITE AREA.....1247.44 m2                |                  |
|-----------------------------------------|------------------|
| Existing house - garage:                | 39.60 m2         |
| Existing house - main floor:            | 182.30 m2        |
| Existing house - mezzanine:             | 19.60 m2         |
| Existing house - covered patio:         | 10.90 m2         |
| <b>TOTAL EXISTING COVERED AREA:</b>     | <b>252.40 m2</b> |
| New garage extension:                   | 12.00 m2         |
| New bedroom extension:                  | 12.00 m2         |
| New entrance landing:                   | 6.30 m2          |
| New covered entrance patio:             | 14.40 m2         |
| New kitchen scullery-laundry extension: | 13.70 m2         |
| <b>TOTAL NEW COVERED AREA:</b>          | <b>58.40 m2</b>  |

- General Notes
1. Do not scale off drawings. Follow figured dimensions only.
  2. All dimensions to be checked & verified on site prior to construction.
  3. Report all discrepancies to Architect immediately.
  4. Copyright of these drawings is reserved and drawings may not be copied in part or completely without the written consent of Richard Beckman Architect Copyright 2000

ARCHITECT  
R. BECKMAN  
DATE 06/12/2007

CLIENT  
B. MORRIS  
DATE 6/12/2007

PRINTED 04:12:2007

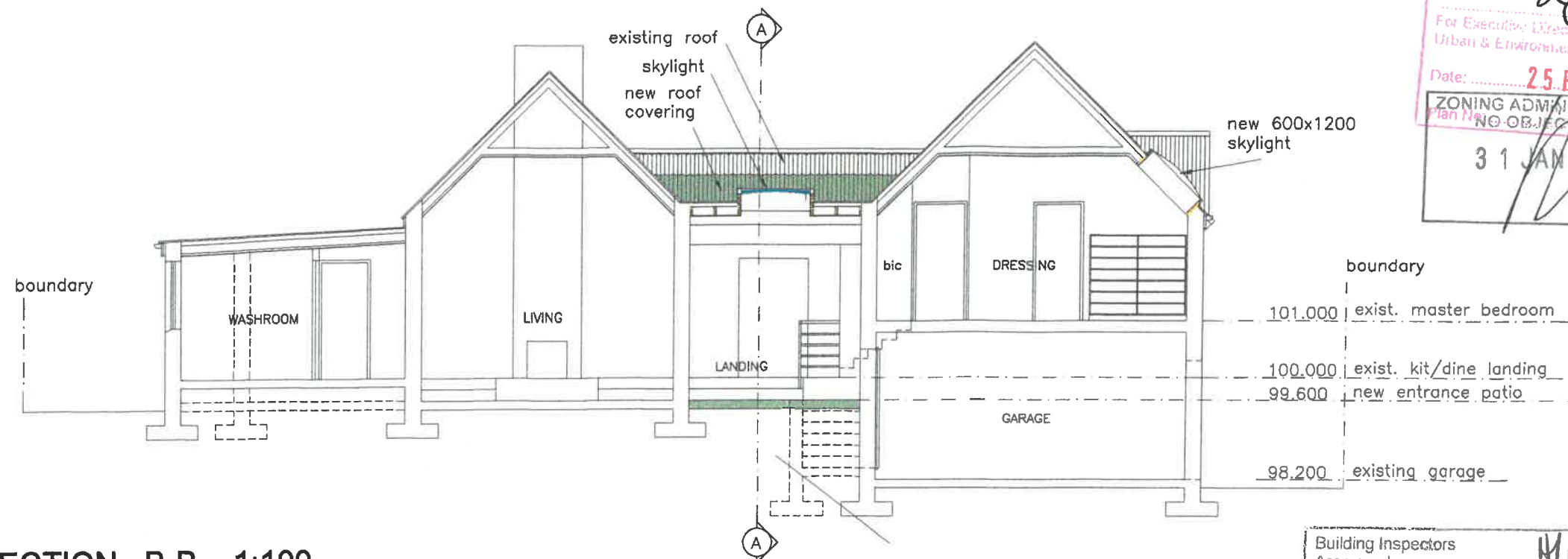
COUNCIL SUBMISSION

| project                                                                                                   | drawing                                              | scale | drawn | date       | layout |
|-----------------------------------------------------------------------------------------------------------|------------------------------------------------------|-------|-------|------------|--------|
| 9. COMPANION LANE<br>KLEIN LEEUWOP ESTATE<br>HOUT BAY<br>TELE/FAX (021) 790 5863<br>CELLULAR 082 558 3505 | SITE AND ROOF PLAN<br>DATA AND OUTLINE SPECIFICATION | 1:200 | RB    | 28-11-2007 | 1      |

BECKMAN ARCHITECT  
HARD

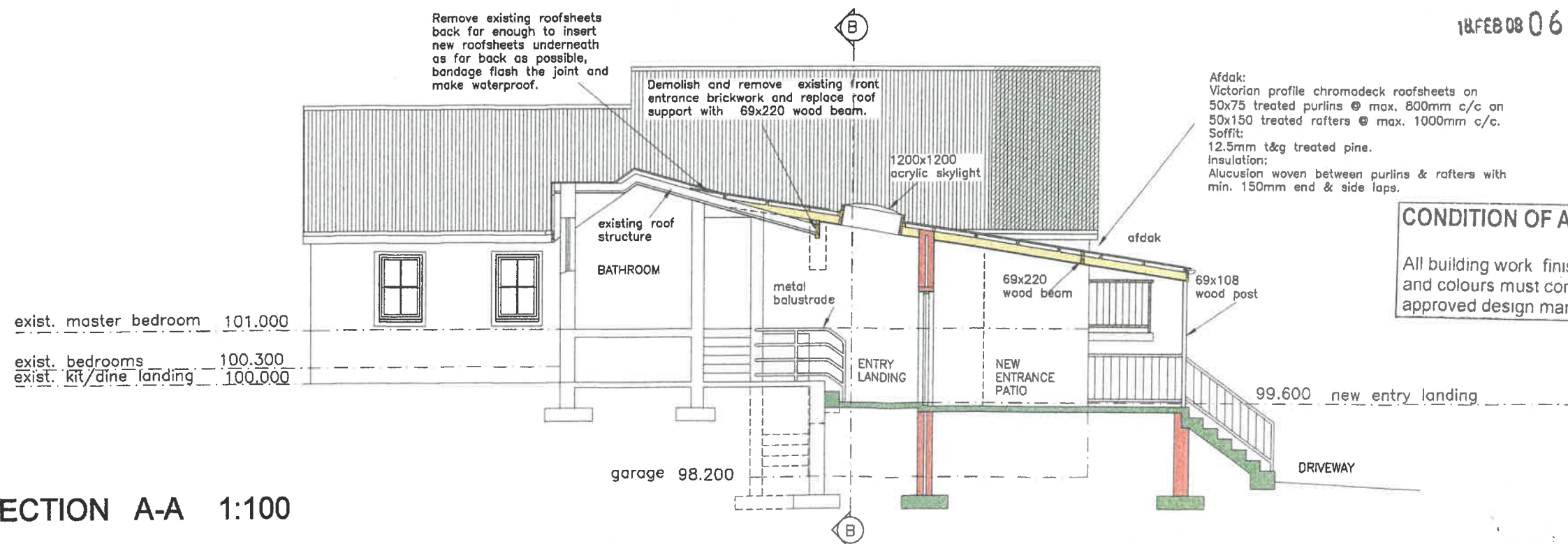
KLOOF  
ESTATE





SECTION B-B 1:100

Building Inspectors  
Area number ..... H Bay (S)  
Date ..... 2007-12-12  
Building Inspectors  
signature ..... Ray Windell



SECTION A-A 1:100

**CONDITION OF APPROVAL**  
All building work finishes, materials and colours must conform to the approved design manual

YOUTH PENINSULA MUNICIPALITY  
Record of Council's approval to  
AMENDMENTS  
Building Control Officer  
APPROVED  
For Executive Director  
Urban & Environmental Services  
Date: 25 FEB 2008  
ZONING ADMINISTRATION  
NO OBJECTIONS  
31 JAN 2008  
A49080/4

PRINTED 04/12/2007

COUNCIL SUBMISSION

CLIENT B. MORRIS DATE 6/12/2007

ARCHITECT R. BECKMAN DATE 06/12/2007

| project                                                                                          | drawing            | scale          | date       | rev. |
|--------------------------------------------------------------------------------------------------|--------------------|----------------|------------|------|
| ADDITIONS & ALTERATIONS TO EXIST. DWELLING ON ERF. 6183                                          | SECTIONS A-A & B-B | 1:50           | 28/11/2007 | 6    |
| 16 BOKKEMANSKLOOF ROAD, HOUT BAY FOR MR. & MRS. B. MORRIS.                                       | BOKKEMANS          | drawing number | 2007-MOR   |      |
| 9 COMPANION LANE KLEIN LEEUKOP ESTATE HOUT BAY 7806 TEL/FAX (021) 750 5663 CELLULAR 082 558 3505 | BECKMAN ARCHITECT  |                |            |      |

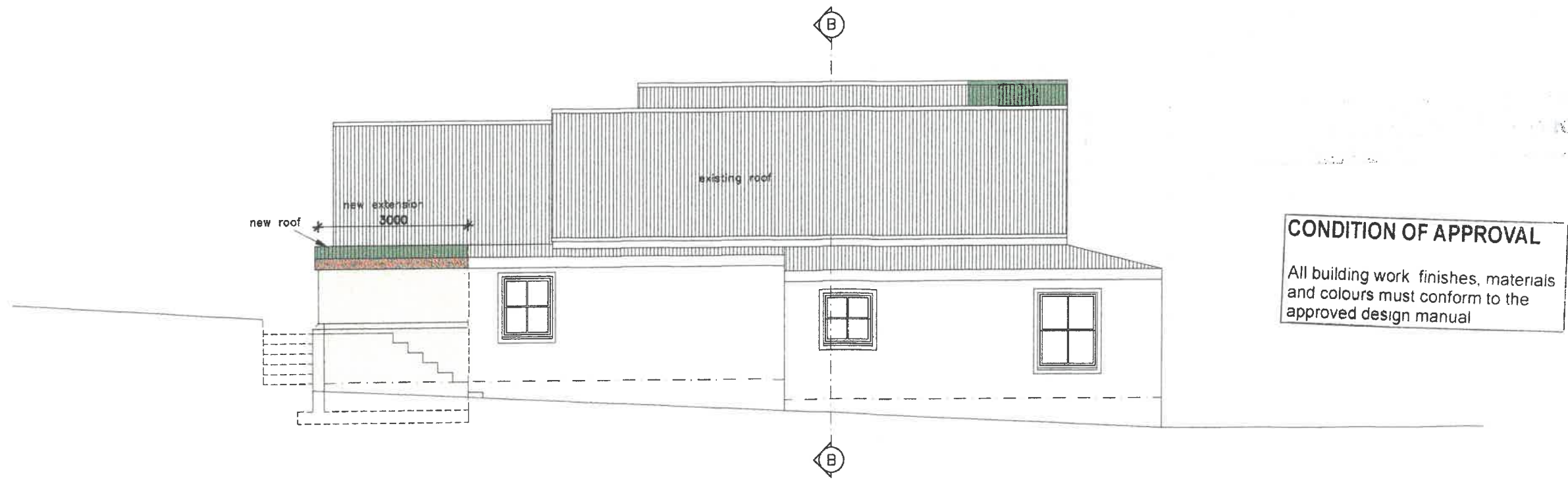


EAST ELEVATION 1:100



|                               |             |
|-------------------------------|-------------|
| Building Inspectors           | H. Bay(s)   |
| Area number                   |             |
| Date                          | 2007-12-12  |
| Building Inspectors signature | Ray Windell |

NORTH ELEVATION 1:100



**CONDITION OF APPROVAL**

All building work finishes, materials and colours must conform to the approved design manual

PRINTED 04/12/2007

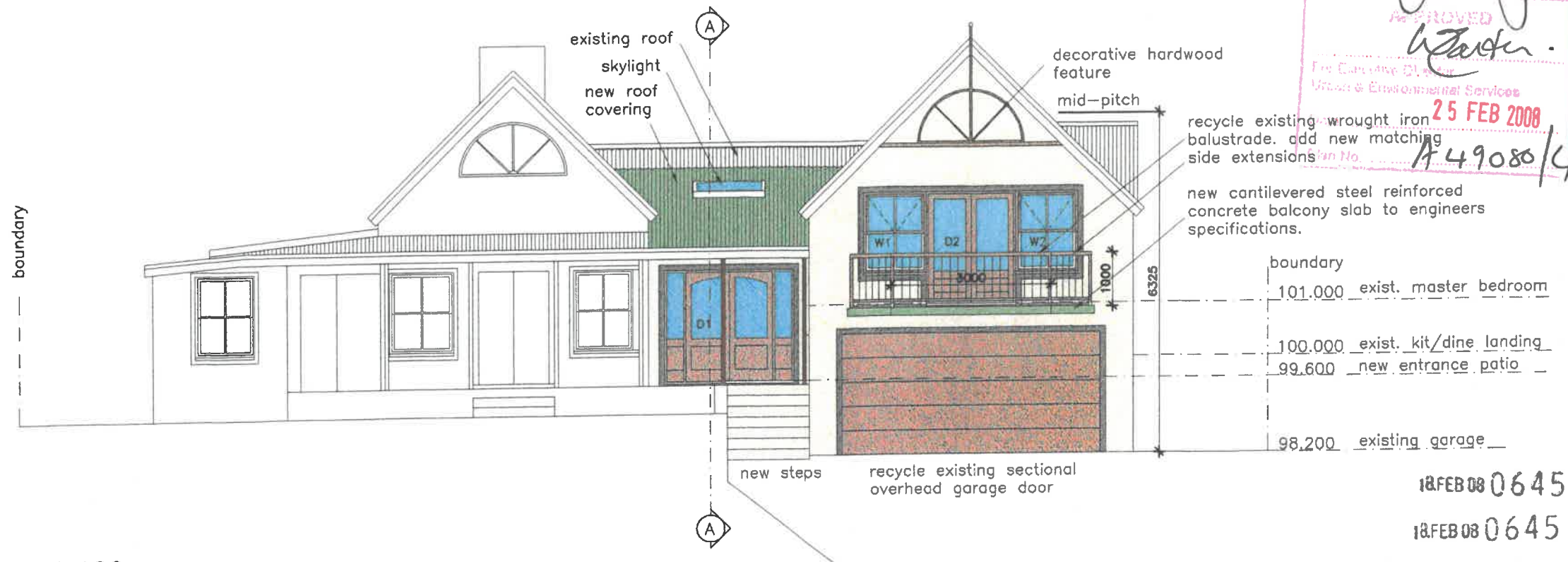
**COUNCIL SUBMISSION**

CLIENT B. MORRIS DATE 6/12/2007

ARCHITECT R. BECKMAN DATE 06/12/2007

| project                                                                                                                | drawing                | scale | drawn | date       | layout |
|------------------------------------------------------------------------------------------------------------------------|------------------------|-------|-------|------------|--------|
| ADDITIONS & ALTERATIONS TO EXIST. DWELLING ON ERF. 6183 16 BOKKEMANSKLOOF ROAD, HOUT BAY BAY FOR Mr. & MRS. B. MORRIS. | ELEVATIONS             | 1:100 | RB    | 28-11-2007 | 5      |
| 9 COMPANION LANE KLEIN LEEUKOP ESTATE HOUT BAY 7806 TEL/FAX (021) 790 5863 CELLULAR 082 558 3505                       |                        |       |       |            |        |
| ARCHITECT R. BECKMAN                                                                                                   | BECKMAN ARCHITECT      |       |       |            |        |
|                                                                                                                        | BOKKEMANS KLOOF ESTATE |       |       |            |        |

WEST ELEVATION:100



Building Inspectors  
Area number ..... M Bay (5)  
Date ..... 2007-12-12  
Building Inspectors  
signature ..... Ray Windell

SOUTH ELEVATION:100



SOUTH PENINSULA MUNICIPALITY  
Municipal Engineer's Office  
APPROVED  
Building Officer  
25 FEB 2008  
449080/4

PRINTED 04/12/2007

COUNCIL SUBMISSION

CLIENT B. MORRIS DATE 06/02/2007

ARCHITECT R. BECKMAN DATE 06/02/2007

| project                                                                                                                         | drawing    | date       | drawn | scale | rev. | layout |
|---------------------------------------------------------------------------------------------------------------------------------|------------|------------|-------|-------|------|--------|
| 9 COMPANION LANE<br>KLEIN LEEUKOP ESTATE<br>HOUT BAY<br>TEL/FAX (021) 790 5663<br>CELLULAR 082 558 3505                         | ELEVATIONS | 28-11-2007 | RB    | 1:100 |      | 4      |
| ADDITIONS & ALTERATIONS TO EXIST.<br>DWELLING ON ERF. 6183<br>16 BOKKEMANSKLOOF ROAD, HOUT<br>BAY BAY FOR Mr. & MRS. B. MORRIS. |            |            |       |       |      |        |
| BOKKEMANS                                                                                                                       |            |            |       |       |      |        |
| KLOOF<br>ESTATE                                                                                                                 |            |            |       |       |      |        |





BOKKEMANSKLOOF ROAD

## SITE PLAN 1:200

### OUTLINE SPECIFICATION

1. Foundations: minimum 20MPa concrete. Depth to solid undisturbed grade to engineers approval.
2. Concrete slabs on grade: minimum 25MPa concrete 150mm thick on 250micron DPM on 25mm Sagex insulation on 100mm well watered and compacted clean sand. Steel reinforcing to engineers specifications. Filling if required to be compacted in maximum 200mm lifts.
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9. Roof covering: Victorian profile galvanized and prepainted metal roofsheets on 50x75 purlins @ max.

10. Roof Insulation: Provide Alucushion insulation sheets woven between trusses and purlins with minimum 150mm side and end laps.
11. Ceilings: 6mm gypsum board with cretestone skim on 38x38mm branderling @ 400mm c/c. Ceiling insulation 75mm thick 'Isotherm' insulation blanket continuous. Cut holes above all low voltage light fixtures for ventilation.
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18. Glazing: to part N of the National Building Regs. All glass over 1m<sup>2</sup> or within 500mm of FFL to be safety tempered or laminated.
19. Stormwater drainage: all downpipes to be connected to a 110mm dia. storm drainage pipe which connects to storm drain.
20. Flat roof-Derbigum membrane to drain to min 1:60 fall on 22mm shutterply on 50x150mm timber roofjoists at 400mm c/c on galvanised joist hangars fastened to brickwork-all to engineers approval.

#### DATA: FLOOR AREAS

**SITE AREA.....1247.44 m<sup>2</sup>**

Existing house - garage: .....39.60 m<sup>2</sup>  
 Existing house - main floor: .....182.30 m<sup>2</sup>  
 Existing house - mezzanine.....19.60 m<sup>2</sup>  
 Existing house - covered patio.....10.90 m<sup>2</sup>

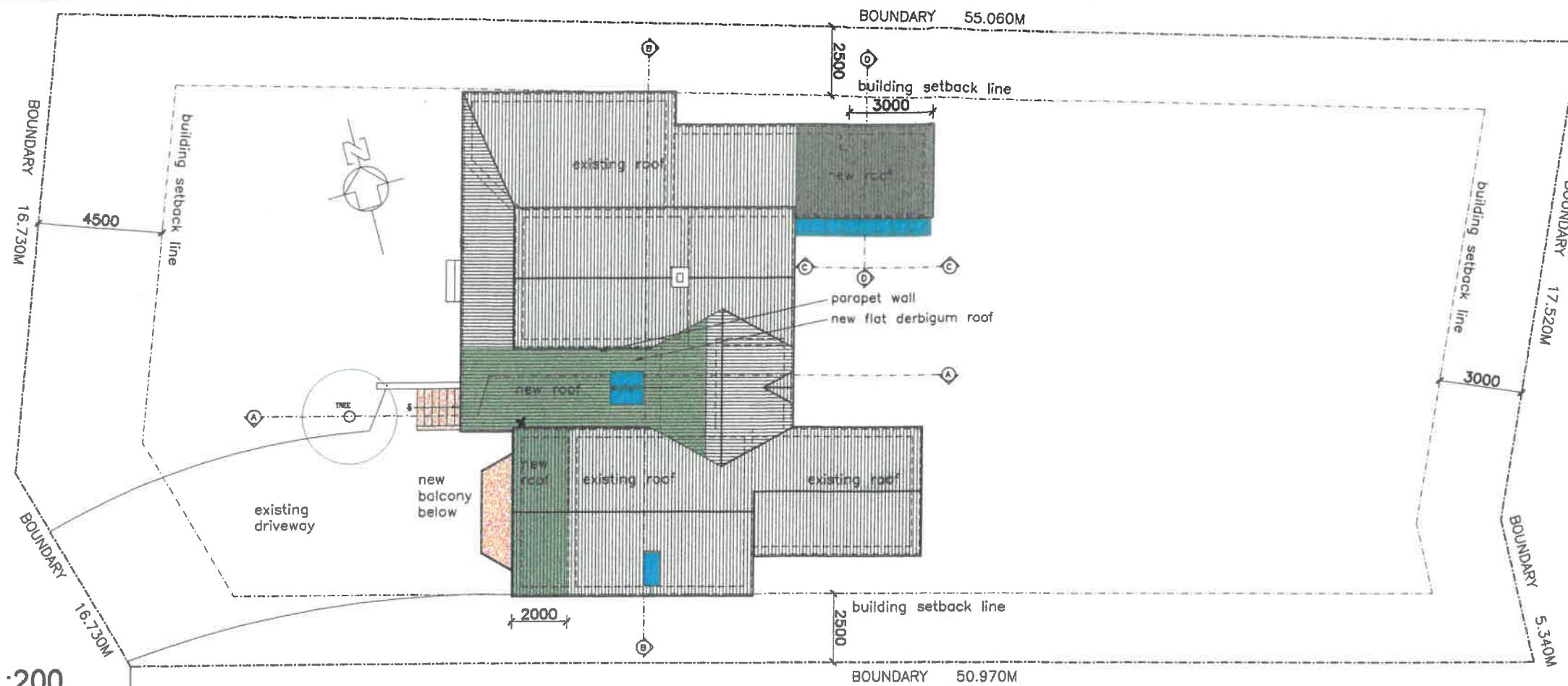
**TOTAL EXISTING COVERED AREA.....252.40 m<sup>2</sup>**

New garage extension.....12.00 m<sup>2</sup>  
 New bedroom extension.....12.00 m<sup>2</sup>  
 New entrance landing.....6.30 m<sup>2</sup>  
 New covered entrance patio.....14.40 m<sup>2</sup>  
 New kitchen scullery-laundry extension.....13.70 m<sup>2</sup>

**TOTAL NEW COVERED AREA.....58.40 m<sup>2</sup>**

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CLIENT  
B. MORRIS

DATE 06/12/2007

ARCHITECT  
R. BECKMAN

9 COMPANION LANE  
KLEIN LEEUKOP ESTATE 7806  
HOUT BAY  
TEL/FAX (021) 790 5663  
CELLULAR 082 558 3505

BECKMAN ARCHITECT  
CHARD

project  
ADDITIONS & ALTERATIONS TO EXIST.  
DWELLING ON ERF. 6183  
16 BOKKEMANSKLOOF ROAD, HOUT  
BAY BAY FOR MR. & MRS. B. MORRIS.

drawing  
SITE AND ROOF PLAN  
DATA AND OUTLINE SPECIFICATION

scale  
1:200  
drawing number  
2007-MOR

drawn  
RB

date  
29/11/2007

rev.  
1

layout  
1